

OVERALL SITE PLAN / CODE ANALYSIS

1" = 50'-0"

1

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

- DEMOMOVE EXISTING PAVING/STREET AS NECESSARY TO RECEIVE NEW WORK.
- PATH OF TRAVEL (P.O.T.) AS INDICATED, IS A COMMON BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL, AND IS AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. PASSING SPACES AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. PARTS OF P.O.T. WITH CONTINUOUS GRADIENTS HAVE 60" LEVEL AREAS NOT MORE THAN 400' APART. THE CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL AND IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
- ALL EXISTING FIRE LANE ACCESS GATES HAVE KNOX BOXES.
- SEE ENLARGED SITE PLAN 2/A1.1 FOR EXTENTS OF NEW CONCRETE PAVING.
- ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER.
- ALL SOILS WORK INCLUDING BUT NOT LIMITED TO COMPACTION, MOISTURE CONTENT, ETC. SHALL BE COMPLETED PER THE GEOTECHNICAL REPORT BY TERRACON DATED SEPT. 9, 2016 TITLED "GEOTECHNICAL ENGINEERING AND GEOHAZARDS REPORT".
- SEE DRAWING SHEETS 3 & 4 FOR BLEACHER FOOTING REQUIREMENTS.
- SEE DETAIL 4 ON DRAWING SHEET A9.1 FOR CONCRETE JOINT REQUIREMENTS.
- SEE DRAWING SHEET 9 FOR BLEACHER CODE ANALYSIS.

PATH OF TRAVEL  
--- FIRE ACCESS  
 ACCESSIBLE RESTROOM  
M= MEN'S  
W=WOMEN'S  
B=BOYS'  
G=GIRLS'  
U=UNISEX  
CWC CLOSED WITH CERTIFICATION  
CWOC CLOSED WITHOUT CERTIFICATION

REFERENCE NOTES

PATH OF TRAVEL

GENERAL INFORMATION

LEGEND

ARCHITECTS  
**WLC**  
CLIENT FOCUSED • PASSION DRIVEN

SACRAMENTO AREA  
1110 IRON POINT ROAD, SUITE 200  
FOLSOM  
CALIFORNIA 95630-8313  
TEL: 916-355-9922  
www.wlcarhitects.com

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301 NORTH ACACIA AVE, RIPON, CA 95366



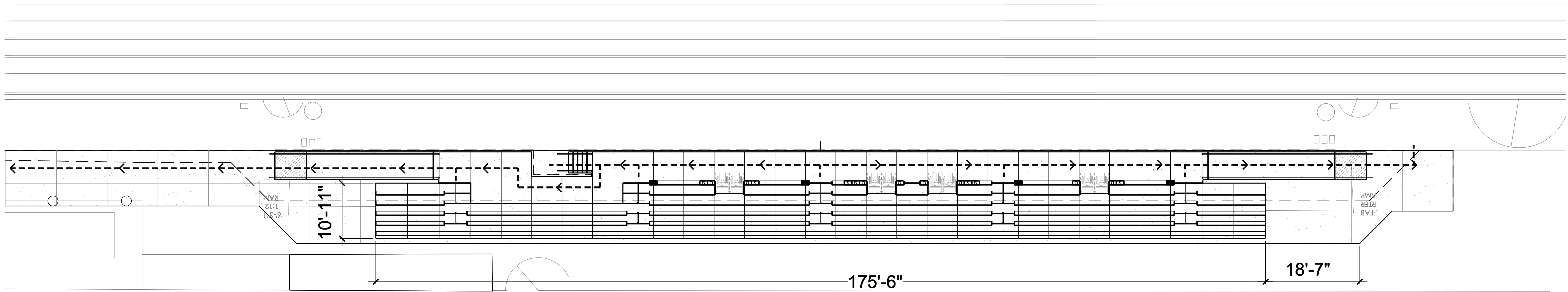
CONSULTANT

REVISION SCHEDULE			
NO	DATE	BY	DESCRIPTION

DRAWN: JULY  
DATE: 05/14/2020  
PROJECT NUMBER: 1816900  
CHECKED: MIM  
SCALE: AS SHOWN

OVERALL SITE  
PLAN

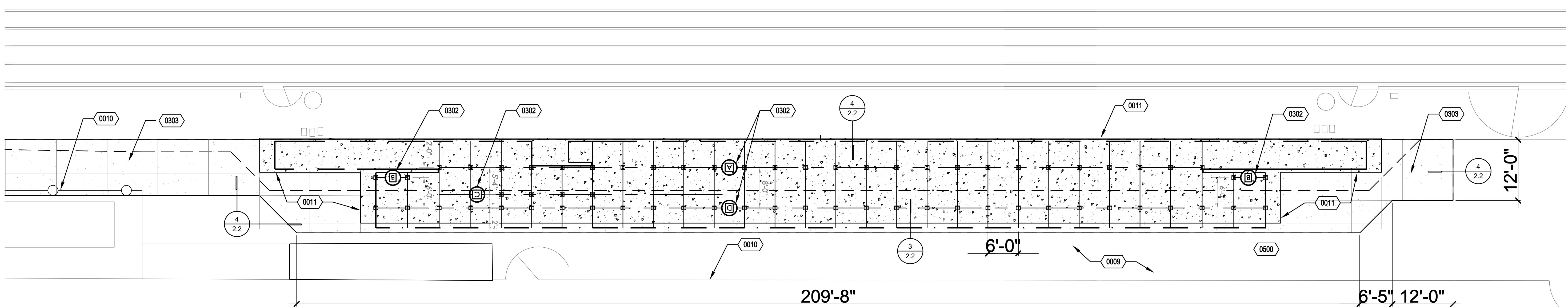
DRAWING  
NUMBER: A0.6



ENLARGED SITE PLAN / SEATING LAYOUT

1" = 10'-0"

2



PAVING PLAN / EXPANSION & CONTROL JOIN PLAN

1" = 10'-0"

1

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← --- PATH OF EGRESS

NEW CONCRETE PAVING  
4" PCC WITH #4 REBAR AT 12" O.C. BOTH DIRECTIONS.  
CONSTRUCT CONCRETE PAVEMENT/SUBGRADE PER  
GEOTECHNICAL REPORT RECOMMENDATIONS. SEE  
GENERAL NOTE 4 FOR GEOTECH REPORT  
INFORMATION & REQUIREMENTS.

CONTROL JOINT, CJ1, SEE 4/2.2  
EXPANSION JOINT, EJ1, SEE 4/2.2

- 0001 (E) CONCRETE PAVING TO REMAIN
- 0002 LINE OF (E) CONCRETE WALKWAY
- 0009 (E) DIRT/LANDSCAPE AREA TO REMAIN
- 0010 (E) FENCING TO REMAIN
- 0011 LINE OF (N) BLEACHER

- 0302 (N) CONCRETE PIER, SEE STRUCTURAL DWG
- 0303 (N) CONCRETE, SEE STRUCTURAL DWG.

GENERAL INFORMATION

PATH OF TRAVEL

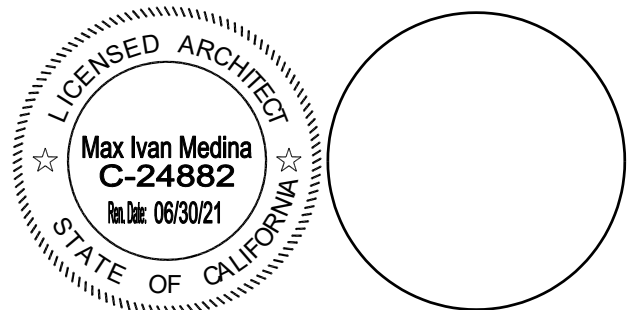
LEGEND

REFERENCE NOTES



**SACRAMENTO AREA**  
1110 IRON POINT ROAD, SUITE 200  
FOLSOM  
CALIFORNIA 95630-8313  
TEL: 916-355-9922  
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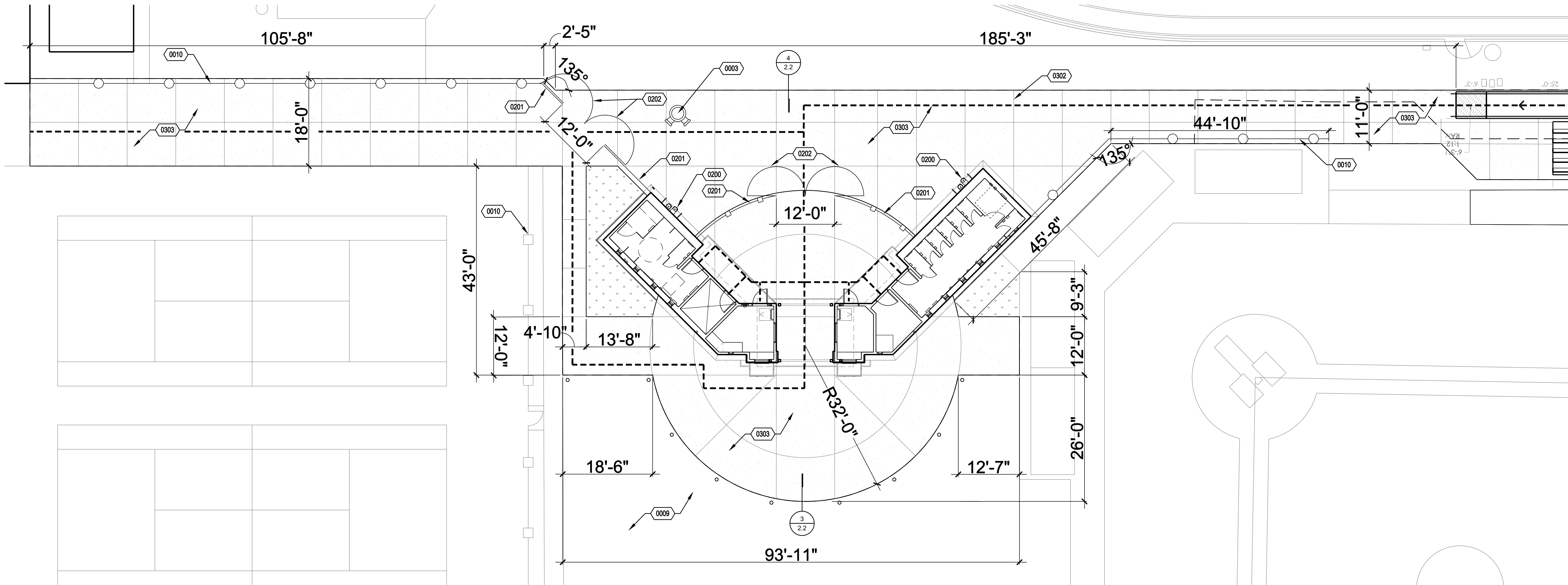


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NO	DATE	BY	DESCRIPTION

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DATE: 05/14/2020	SCALE: AS SHOWN
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PAVING & ENLARGE  
SITE PLANS

DRAWING  
NUMBER: **A1.1**



PAVING PLAN / EXPANSION & CONTROL JOIN PLAN

1" = 10'-0" 1

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CONTROL JOINT, CJ1, SEE 4/A9.1  
EXPANSION JOINT, EJ1, SEE 4/A9.1

0002 LINE OF (E) CONCRETE WALKWAY  
0003 (E) FIRE HYDRANT  
0009 (E) DIRT/LANDSCAPE AREA TO REMAIN  
0010 (E) FENCING TO REMAIN

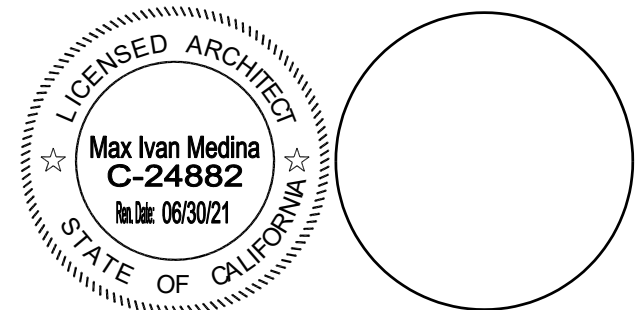
0302 CONCRETE JOINTS, SEE DETAIL 4/2.2 & STRUCTURAL DWG.  
0303 (N) CONCRETE PATH, SEE STRUCTURAL DWG.  
0200 (N) DRINKING FOUNTAIN, SEE 1/2.2  
0201 (N) ORNAMENTAL FENCE, SEE 2/2.2  
0202 (2) (N) 6'-0" WIDE ORNAMENTAL GATE, SEE 2/2.2

GENERAL INFORMATION

PATH OF TRAVEL

LEGEND

REFERENCE NOTES



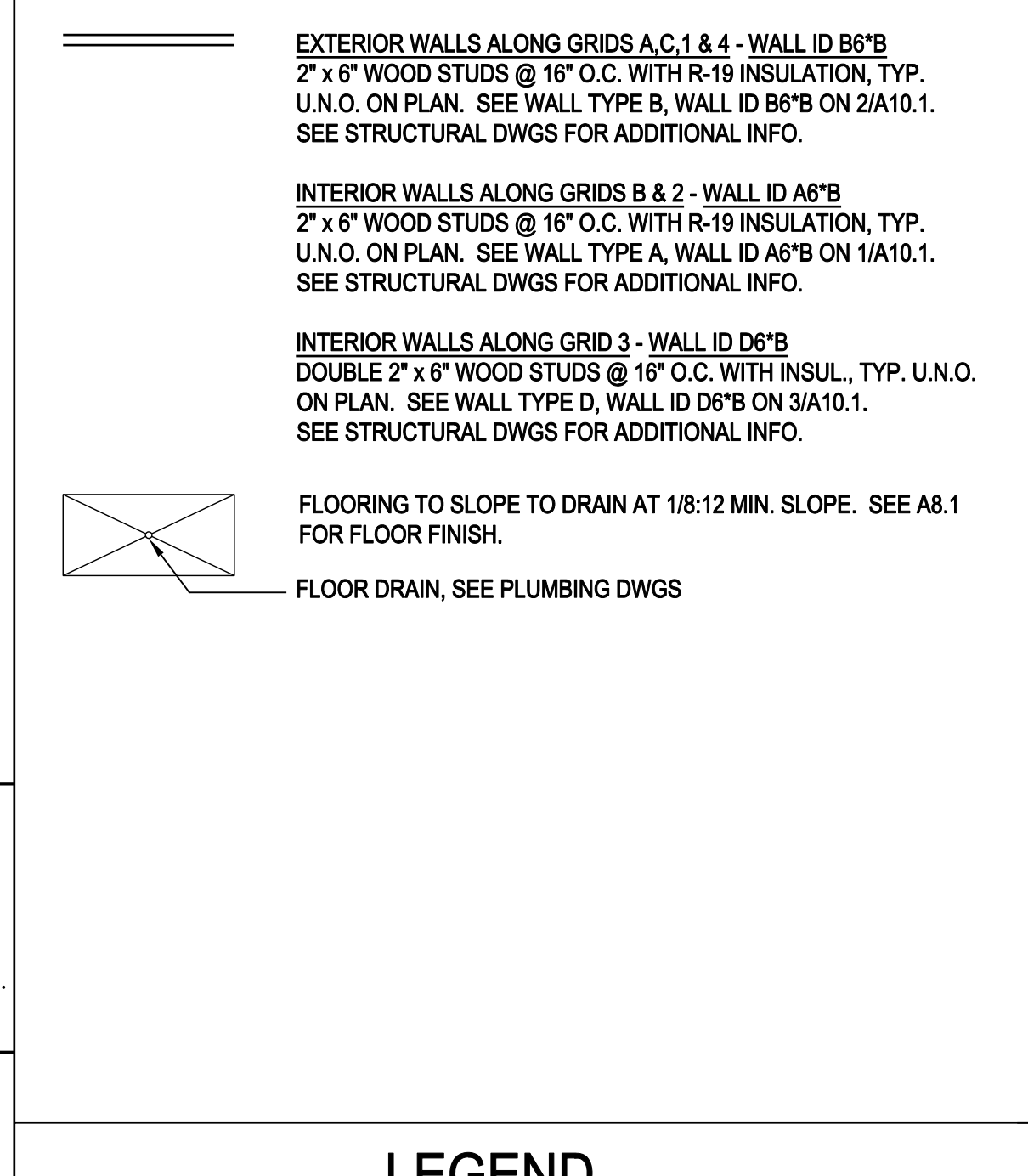
REVISION SCHEDULE			
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PAVING & ENLARGE  
SITE PLANS

DRAWING  
NUMBER: **A1.2**





1. FURNISH AND INSTALL ALL NECESSARY REQUIRED ANCHOR BLOCKING OR BACKING OF ALL WALL AND CEILING MOUNTED EQUIPMENT PLUMBING FIXTURES, RESTROOM ACCESSORIES/ PARTITIONS, FURNISHING UNITS, ETC. AS REQUIRED .
2. FOR DOOR, WINDOW AND FINISH SCHEDULE, SEE SHEET A8.1.
3. ALL MATERIALS AND DEBRIS FROM AREA SHALL BE TAKEN TO A PUBLIC, COUNTY OR CITY OPERATED DISPOSAL SITE.
4. REFER TO APPLICABLE SYMBOLS, LEGENDS, REFERENCE NOTES AND SCHEDULES FOR THE EXTENT OF WORK.
5. REFER TO FIXTURE AND ACCESSORY MOUNTING HEIGHT SCHEDULE ON DETAIL 24/A10.2 FOR MOUNTING HEIGHT INFO.
6. DIMENSIONS FOR WOOD STUDS ARE FROM CENTERLINE OR FACE OF INTERIOR STUDS OR FACE OF EXTERIOR STUDS.
7. ALL WALLS SHALL HAVE BATT SOUND INSULATION, FULL HEIGHT.
8. WITH EXCEPTION TO THE INTERIOR WALL ALONG GRID 2, ALL WALL BASE SHOULD HAVE A 6" CONCRETE CURB PER DETAIL 10/S1.2. FOR INTERIOR WALL BASE DETAIL, SEE 11/ A10.1. FOR EXTERIOR WALL BASE DETAIL, SEE 12/ A10.1.

0246	8'-0" HIGH DECORATIVE FENCING & GATES
0506	ROOF ACCESS LADDER
0707	IN-WALL DOWNSPOUT & OVERFLOW DRAIN
1115	FIRE EXTINGUISHER IN RECESSED CABINET
1116	WATER HEATER
1117	MOP SINK
1511	RESTROOM PARTITIONS
1024	(N) WATER CLOSET, SEE PLUMBING DWGS
1502	(N) LAVATORY FIXTURE, SEE PLUMBING DWGS
1503	(N) 42" GRAB BAR.
1504	(N) 36" GRAB BAR
1505	(N) COVER SEAT DISPENSER
1506	(N) TOILET PAPER DISPENSER
1507	(N) SANITARY NAPKIN DISPOSAL
1508	(N) MIRROR
1509	(N) SOAP DISPENSER
1510	(N) SEMI- RECESSED PAPER TOWEL DISPENSER & WASTE RECEPT.
1511	(N) URINALS. SEE PLUMBING DWGS
1512	(N) DRINKING FOUNTAIN. SEE DETAIL 1/2.2

[illegible]

<b>DRAWN:</b> JLY	<b>CHECKED:</b> MIM
<b>DATE:</b> 05/14/2020	<b>SCALE:</b> AS SHOWN
<b>PROJECT NUMBER:</b> 1816900	

## BUILDING FLOOR PLAN

DRAWING NUMBER: A2.1

**WLC** ARCHITECTS

CLIENT FOCUSED • PASSION DRIVEN

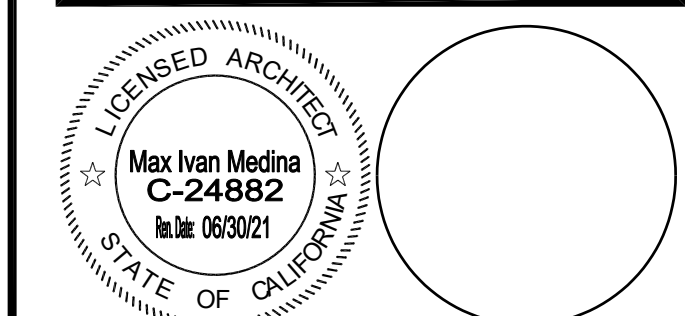
**SACRAMENTO AREA**  
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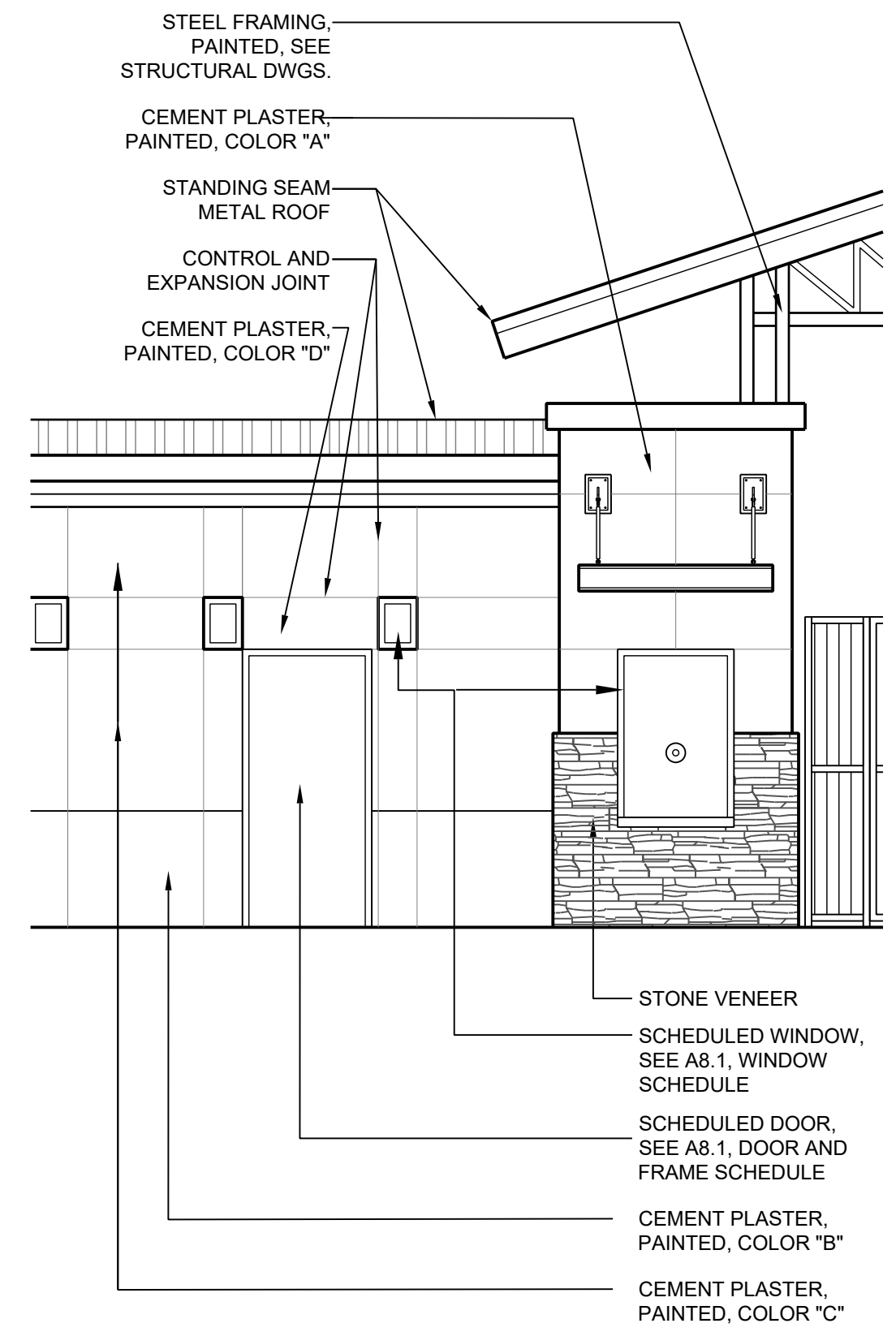
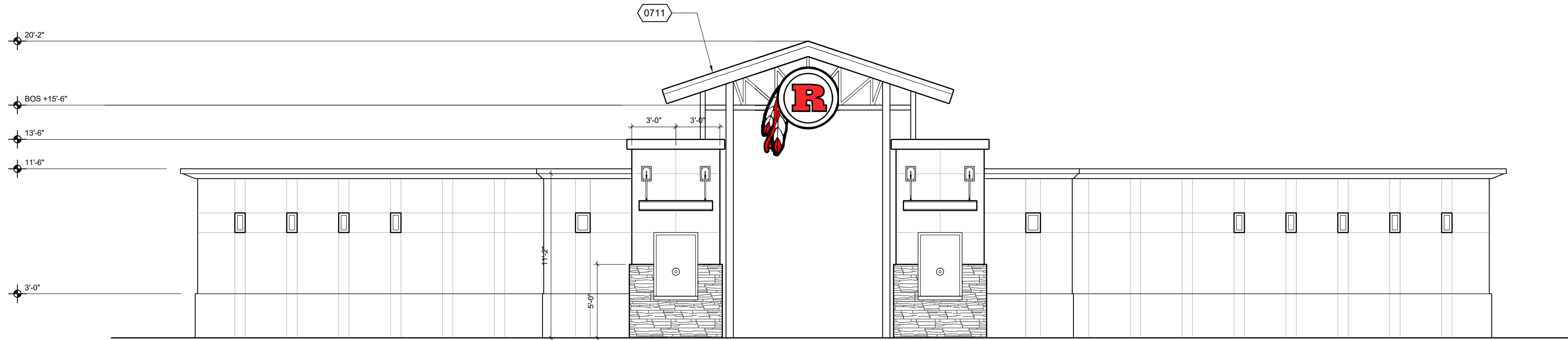
**RIPON UNIFIED SCHOOL DISTRICT**

**RIPON HS STADIUM TICKET BOOTHS,  
RESTROOMS & BLEACHERS**

301 NORTH ACACIA AVE., RIPON, CA 95366



CONSULTANT



WEST ELEVATION

1/4" = 1'-0"

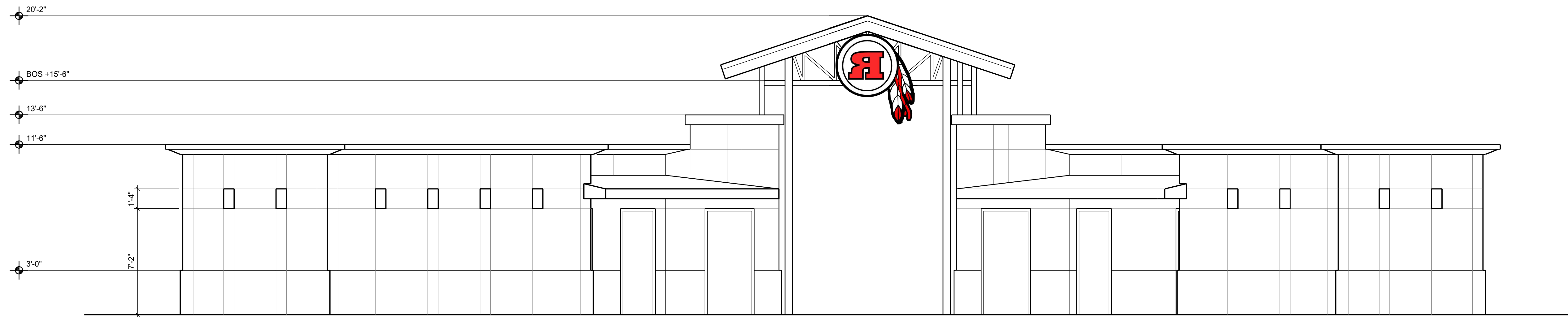
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LEGEND

- 0246 8'-0" HIGH DECORATIVE FENCING & GATES
- 0709 SINGLE-PLY ROOFING OVER RIGID INSULATION
- 0711 SHEET METAL ROOFING OVER METAL DECK
- 0712 PARAPET WALL
- 0801 HOLLOW METAL WINDOW

REFERENCE NOTES

- REFER TO ROOM FINISH SCHEDULE A8.1 FOR INTERIOR WALL FINISHES.
- WHERE 'WIC' NUMBER IS LISTED AT INTERIOR CASEWORK, REFERENCE THE APPLICABLE WOODWORK INSTITUTE CASEWORK DESIGN SERIES.
- SEE 4/A10.3 FOR ALL CASEWORK ANCHORAGE DETAILS.
- SEE 9/A10.3 FOR TYPICAL CABINET SECTIONS.
- DIMENSIONS OF STUDS ARE FROM CENTERLINE OF INTERIOR STUDS OR FACE OF EXTERIOR STUDS.
- REFER TO STRUCTURAL DWGS. FOR WOOD STUD SIZES.
- ALL WALLS HAVE BATT SOUND INSULATION, FULL HEIGHT.
- FOR ACCESSIBLE DOOR CLEARANCE REQUIREMENTS, SEE XXX

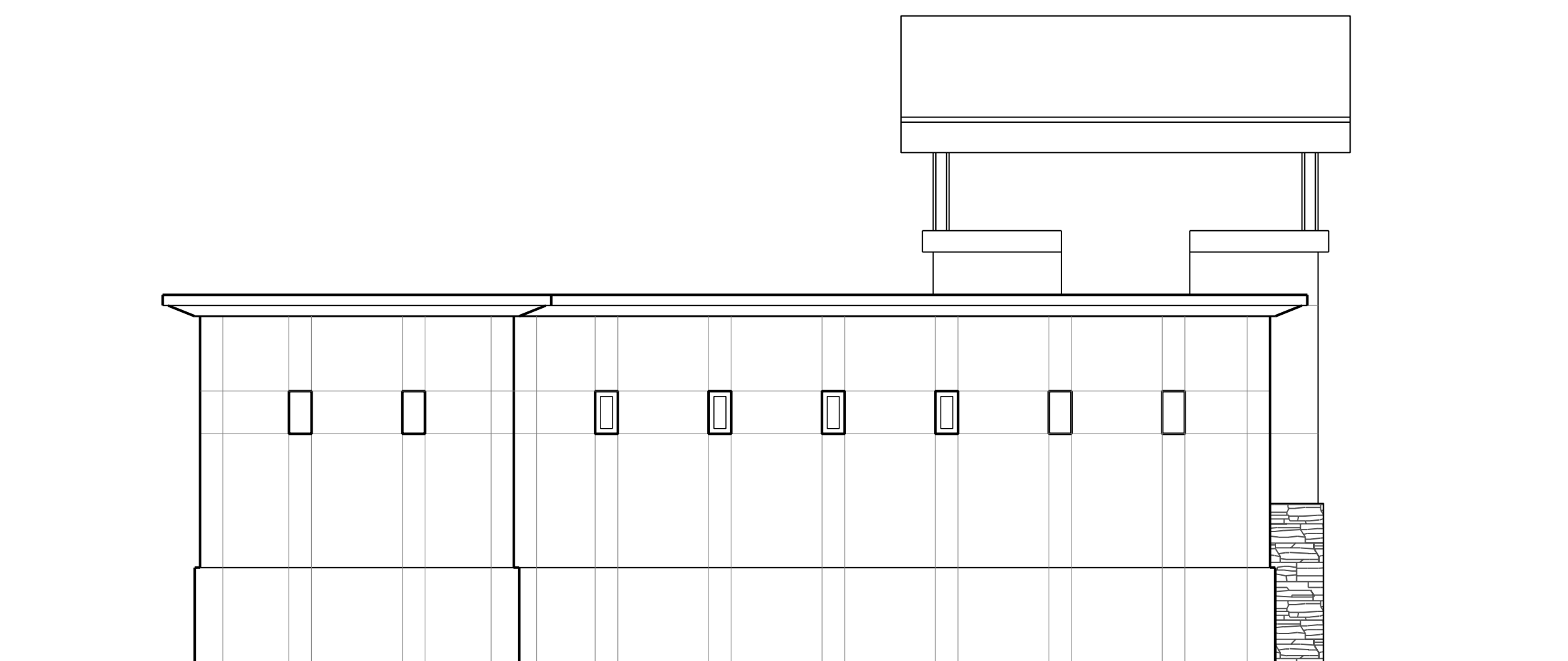


EAST ELEVATION

1/4" = 1'-0"

2

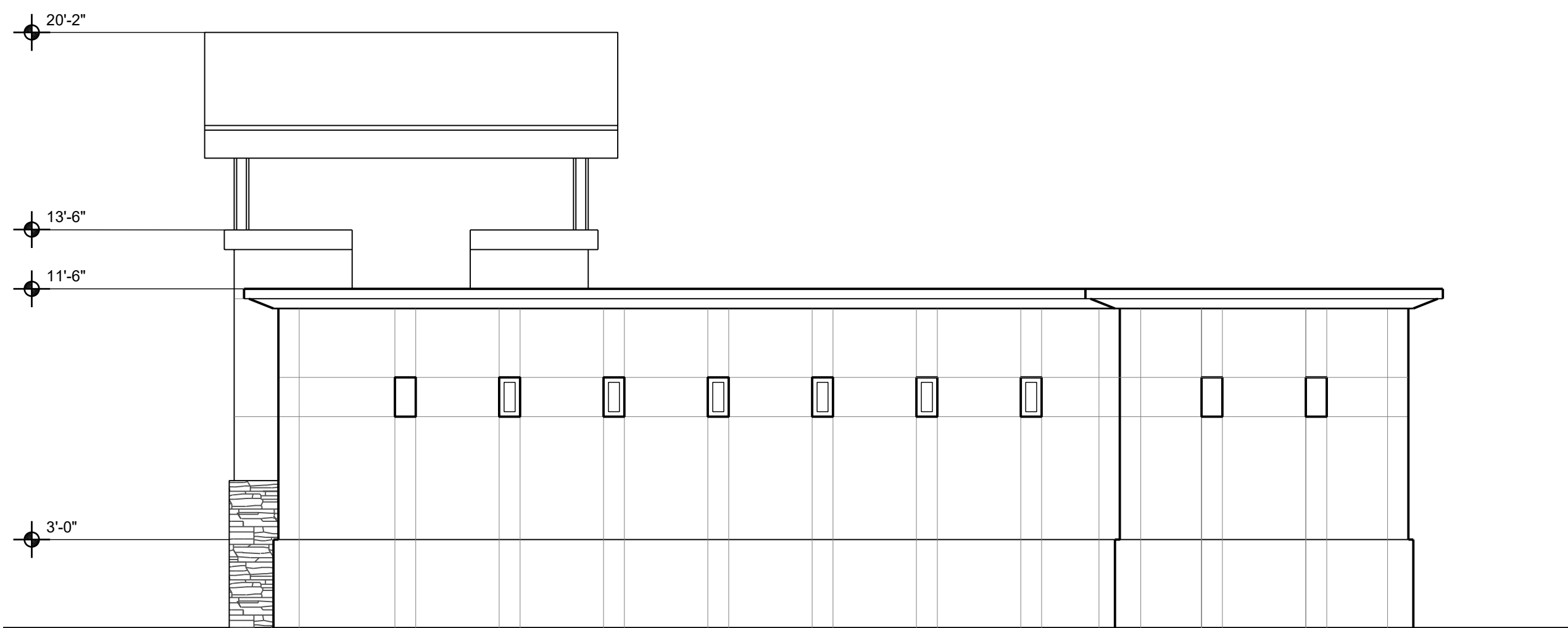
GENERAL NOTES



NORTH ELEVATION

1/4" = 1'-0"

4



SOUTH ELEVATION

1/4" = 1'-0"

3

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**BUILDING  
ELEVATIONS**

DRAWING  
NUMBER: **A5.1**